



ARCHITECTS

Heritage Impact Assessment

Grade II* Listed Building

Conversion of existing nursing home into residential accommodation

Plas Abermad, Abermad, Llanfarian, SY23 4ES

May 2025

Our ref: Z005

SUMMARY

Proposal

Conversion of existing nursing home to residential accommodation

Location

Plas Abermad, Abermad, Llanfarian, Ceredigion, SY23 4ES

Date

May 2025

Project Ref

Z005

Applicant

Mr & Mrs Sandford

Planning authority

Ceredigion County Council

Statement prepared by

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1.0 INTRODUCTION

- 1.1 This Heritage Impact Assessment is written and submitted by Hughes Architects on behalf of Mr & Mrs Sandford, in order to inform proposals to convert a Grade II* Listed building from a nursing home into residential accommodation. Illustrations supplied or sourced for this document are copyright of Hughes Architects unless credited accordingly.
- 1.2 The proposals offer the opportunity to convert this currently vacant building, that is currently unoccupied but has been used as a residential care home. This HIA accompanies the drawings of the proposed works and how they will help enhance and repair Abermad Mansion without adversely impacting upon the historic structure or architectural significance of the building.
- 1.3 The purpose of this Heritage Impact Assessment is to provide information on the proposed repair work, including details of the site, a description of the proposed repair work, any recent planning history, the architectural significance of the building and the heritage impact matrix.

This HIA is supported by the following set of drawings:

Z005.1.3.001	Location Plan	Hughes Architects
Z005.1.3.002	Proposed Elevations	Hughes Architects
Z005.1.3.100	Existing Floor Plans	Hughes Architects
Z005.1.3.101	Existing GA Sections	Hughes Architects
Z005.1.3.102	Site Plan and Green Infrastructure Statements	Hughes Architects
Z005.1.3.200	Proposed Accommodation Schedule	Hughes Architects
Z005.1.3.201	Proposed Lower Floor Plan	Hughes Architects
Z005.1.3.202	Proposed Ground Floor Plan	Hughes Architects
Z005.1.3.203	Proposed First Floor Plan	Hughes Architects
Z005.1.3.204	Proposed Second Floor Plan	Hughes Architects
Z005.1.3.210	Proposed Elevations	Hughes Architects
Z005.1.3.100	Proposed Sections	Hughes Architects
Z005.1.3.600	Proposed Fabric Heritage Significance Plans	Hughes Architects
Z005.1.3.601	Proposed Fabric Heritage Significance Elevations	Hughes Architects
-	Bat Report	DAVE ROGERSON, S090164-1
-	Planning Statement	Hughes Architects
-	Viability Assessment	-
256015	Chimey Stack Survey	BARRATT ASSOCIATES

LISTING INFORMATION

The Cadw Listed Building Information for Plas Abermad is as follows:

Name of Property: Plas Abermad

Date of Designation: 20/12/1989

Last Amended: 27/10/2003

Grade: II*

Source ID: 10710

Building Class: Commercial

County: Ceredigion

Community: Llanilar

Location:

Eastings: 260024

Northings: 276089

Reason for Listing:

Graded II* as an exceptionally complete High Victorian Gothic country house by a major architect, retaining particularly high quality interior detail.

2.0 HISTORY & BUILDING CONDITION

History

- 2.1 Plas Abermad was built in 1870 as a private mansion by J.P. Seddon for Lewis Pugh after he bought the estate from the Vaughans of Trawsgoed in 1852. Abermad is regarded as one of the most important High Victorian Gothic houses in Wales by Cadw; this being echoed by the original drawings on display at the Victoria and Albert Museum, London. These aspects combined with the particularly high quality of interior details are what lead the building to become Grade II listed in 1989.
- 2.2 During the 20th century the building was utilised as a private school until it transitioned to a nursing home for those with special needs which was unfortunately closed in 2022 due to insufficient staffing. Since 2022 the building has seen minimal upkeep and has recently been purchased by Mr & Mrs Sandford as a means to bring life back into this prime example of Welsh architecture.



Figure 01. Building from above, Hazy to the East and newer houses unbuilt to the West

2.0 HISTORY & BUILDING CONDITION

Cadw Listing

2.3 “The building is three storeys high with dark coloured snecked masonry with grey quoins and relieving arches and Douling window dressings. The roof is of slate with tiles cresting and stone chimney stacks, splayed out to the base. The interior is especially fine with strong Gothic details. Stained glass at the house was designed by F. Vincent Hart and made by G. E. Cooke. Abermad is one of the finest examples of High Victorian Gothic houses in Wales. The building is Grade II* listed as an exceptionally complete High Victorian Gothic country house by a major architect, which has retained high quality interior detail.” Cadw

Current State

2.4 The building is currently in a poor state of repair as it has been unoccupied since the closure of the nursing home in Summer 2022. In its use as a nursing home and a school a number of insensitive interventions were added internally to improve its former function and increase the number of rooms. Externally a covered terrace was removed on the East facing facade to be replaced with a modern fire escape. A modern lift was installed. The grand rooms to the ground floor the East, are mostly unaltered with minor additions to allow its function as a care home.

2.5 The immediate context has also undergone significant changes since the original house was built. The front now has two modern bungalows on the site directly facing the building. The two original ha-ha's to the East are now less visible than in the original photos (figure 01.). The Northwest is assumed to have undergone quite major changes, although it is uncertain what may have been there before and welcome any evidence the LPA may have



Figure 02. Photo towards South Facing and West Facing Elevations. Plus exterior mainly in good condition



Figure 03. Photo towards porch. This area has undergone now undergone some repair work as part of a previous LBC application

2.0 HISTORY & BUILDING CONDITION

Existing Photos Page 01



Figure 04. Photo towards East facing elevation porch. Away from prevailing coastal wind so in good condition



Figure 05. Photo towards West facing elevation first floor windows .These sash windows will be secondary escape windows



Figure 06. Photo of west facing dormer window. Timber in good condition.



Figure 07. Photo of ornate hoppers. To be retained



Figure 08. Photo of damaged stonework around porch. Currently being repaired



Figure 08. Photo of principal lobby. Mostly in good condition and to be retained in current condition with some decorating / minor repairs

2.0 HISTORY & BUILDING CONDITION

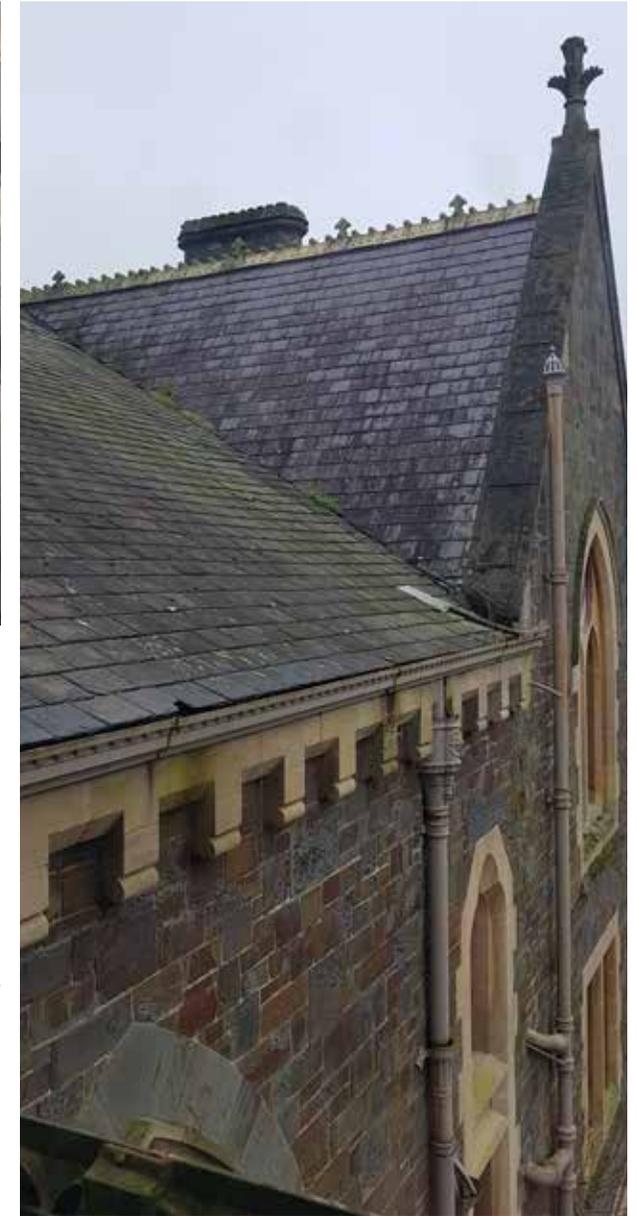
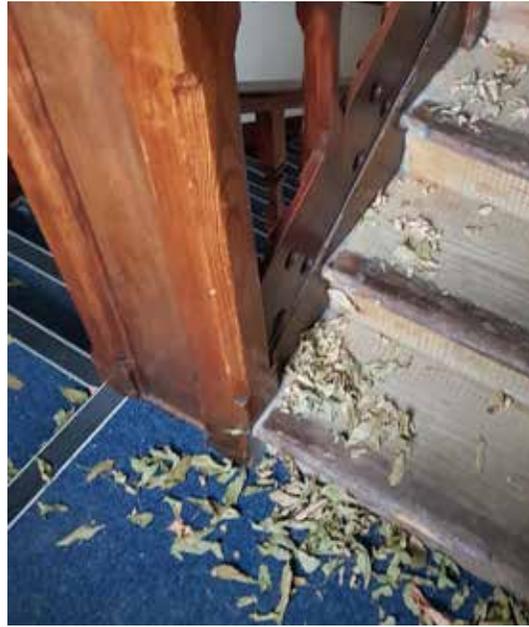
Existing Photos Page 02

Figures 09 - 13 and 14-18 (left to right). These photos show areas of low significance, where modern partitions and poor-quality finishes have compromised the historic character. Damaged plasterwork, inappropriate materials, and unsympathetic alterations offer an opportunity for sensitive repair and reconfiguration, enhancing the building's overall coherence without loss of historic value.



2.0 HISTORY & BUILDING CONDITION

Existing Photos Page 03



Figures 19 - 22 (left to right). These images show key high-significance spaces at Plas Abermad, both internally and externally. Internally, the principal staterooms and stairs retain exceptional decorative features, including ornate plaster ceilings, carved timberwork, and original joinery. Externally, finely dressed stonework, carved detailing, and window tracery reflect the craftsmanship of Seddon's original design. While these elements are largely intact, areas of deterioration—such as minor plaster cracks, weathered stone, and localised timber decay—require careful, like-for-like repair. All works in these areas will be minimal, reversible, and carried out using traditional materials and methods to preserve the building's architectural integrity.

2.0 FULL LISTING

Victorian Gothic country house of 1870-72 by John Pollard Seddon, for Lewis Pugh Pugh, David Williams, builder. J P Seddon one of the leading High Victorian Gothic architects, was at the time architect to the University College in Aberystwyth. Lewis Pugh, prominent saddler in Aberystwyth, bought the Abermad estate in 1852 from the Vaughans of Trawsgoed having made a fortune at the Copa Hill lead mine, which he bought in 1834. Pugh's daughter married John Evans, lime merchant of Commerce House, Aberystwyth, in 1843, reputedly with a dowry of her weight in gold sovereigns, and their son Lewis Pugh Evans inherited Abermad on his grandfather's death in 1868, on condition of changing his surname. He was a barrister at the High Court at Calcutta as was his brother, Sir Gruffydd H. Pugh Evans (1840-1902) who built Lovesgrove, near Aberystwyth. Lewis Pugh Pugh (1837-1908) was MP for Cardiganshire 1880-85.

Abermad is among the most important High Victorian Gothic houses in Wales, an exemplar of asymmetrical design, the form following function in the hierarchical elaboration of the principal elements. The stained glass at the house by the designer F Vincent Hart and made by G E Cooke is of high quality. The original drawings for the house with interior details and a design for the library stained glass are at the Victoria and Albert Museum, London.

2.0 FULL LISTING

Country house, High Victorian Gothic style, in brown local stone with dressings of yellow Douling stone, and blue-grey tooled stone to quoins, relieving arches and chimneys, possibly Llanddewi Brefi. Slate roofs with fine tall chimneys, three on main ridge, one on W side wall and one on rear roof between gables of rear NE wing. Chimneys are chamfered at angles, with battered bases, moulded plinths and brattished caps in ashlar. House is L-plan with projected double gabled wing to rear NE, and asymmetrical 5-bay S front with double gable to the 2 bays to right and single gable to left bay. Gables are shouldered with copings and stone finials. Principal rooms are in first 3 bays from right with entrance in second bay, while narrow fourth bay has service entry and stair and left bay has service rooms with lower floor levels. Heavy machiolated eaves band over third and fourth bays, between gables, and over 3rd bay, a 2-light dormer with steep roof, ornate cusped bargeboards with collar, and Gothic 2-light window with pointed top lights. The windows are mostly plate-glass small sashes in square-headed ashlar surrounds, pointed larger windows in the gables. In the 3 right bays, the 2 right gables have 2-light windows under pointed arches with trefoil lights in heads and hoodmoulds, first floor has mullion windows with shouldered heads to lights and brattished dripmoulds above, 2-light to the flanking bays 1-2-1 lights to centre.

Relieving arches over centre and right windows. Ground floor has massive 3-bay porch to centre, plate-traceried ashlar rose window to former library to right, with stone voussoirs to arched head and flat sill beneath, and segmental pointed 3-light to left, lighting former study, with hoodmould, stone voussoirs, transom and stepped cusped heads to lights. Iron casement windows. The porch is the dominant element of the front and is of singularly massive construction. The deeply-shouldered openings have lintels of massive single ashlar blocks, roll-moulded, while the shoulders have large-scale Gothic leaf-carving on the inner faces.

2.0 FULL LISTING

Four Gothic columns with carved capitals, shaft rings and bases, the shafts of pink Shap granite. Interlaced roundels in pierced ashlar parapet, low relief foliage carving to the spandrels including around the corners, unusually varied naturalistic carving to the 'shoulders' of the openings and to the capitals including a fox with a bird, rabbits, squirrels and an eagle. The columns have high octagonal plinths; modern pavement. Coved and ribbed painted boarded ceiling. Within is trefoil-arched main doorway flanked by single-light windows with transoms. Panelled main door with 2 glazed panels and traceried overlight. At extreme right corner slate corner stone inscribed July 1870.

The narrow fourth bay, to left, has square-headed door and 2 stair-lights above joined vertically by a pierced ashlar panel, the top one with cusped pointed head. The fifth bay, to left, has ground floor flat-headed 3-light window, first floor 2-light, both with relieving arches but without the drip moulds and shouldered heads of the similar windows on the main part of the house, and attic tall plate traceried pointed 2-light window with hoodmould, two plain pointed lights and roundel. The windows of the two upper floors here are set lower than those of the main apartments though the gable is of matching height. On W end is a big wall-face chimney over machicolated eaves, over a 2-storey projection twin-gabled to W with S side machicolated eaves (at first floor sill level to first bay of main range). The 2 W gables have first floor rectangular lights, 2 to left, a pair to right and ground floor hipped porch with shouldered-headed door to S side and ashlar chamfered eaves.

2.0 FULL LISTING

East garden front of 3 bays, 2 stone dormer gables, coped with finials and each with single pointed arched opening with trefoil over a transom and single square-headed sash. Machicolated eaves. Similar details to main front at first floor (mullion windows with brattished cornices), one to left, one to centre altered to a door, and a pair to right. Almost full width ashlar projection to ground floor with moulded cornice. To left an open 2-bay loggia with 2 broad shouldered openings similar to those on front porch, and pointed arch on S end. Sculpture detail of similarly fine quality (one of the best figures being an owl), and pavement of encaustic tiles by Maw and Co. Within, large French window with 2 lights and top lights and ring-shafted column between (capital below top lights). To right under same cornice is a big 3-light drawing-room window with similar ringed columns between French windows but with ashlar cusped pointed top-lights in square-headed openings.

Rear echoes front with projecting double gable to left and single gable to right. Higher rear wall to right as ground has been excavated for a full-height basement, formerly opening onto an enclosed courtyard. Twin gables to left have 2-light pointed attic windows with trefoils in heads, single and 2-light windows to first floor with shouldered heads, and ground floor 2-light window to left of dining room big splayed bay of 1-3-1 lights with lion and leopard gargoyles. Cusped pointed heads to lights in roll-moulded square-headed surrounds. Relieving arch over left window, parapet to dining-room bay with hipped roof behind. Timber attic dormer on the W return side. Small second floor oriel set diagonally in angle between NE wing and main rear range. Main rear wall has machicolated eaves, tall 2-light pointed stair window to left with transom, cusped heads to lights and quatrefoil above. Narrow single light each floor in next bay to right, the upper one with cusped head and panel between windows linked vertically, the lower one square-headed. The further gable to right has pointed plate-traceried 2-light to attic with big roundel in head, two-light to first floor and 3-light to ground floor, with relieving arches. Basement under this range has cambered heads to openings in grey stone.

Some good surviving cast-iron rainwater heads and downpipes.

ARCHITECTURAL SIGNIFICANCE

The diagrams across the page illustrate the varying levels of significance across both the interior and exterior of Plas Abermad. Externally, the most significant elevations are highlighted, including the principal façade and other key elevations that showcase the architectural grandeur and historic detailing associated with the original design and primary use of the building. These elevations are integral to the building's heritage value, reflecting its historic status and aesthetic character.

Internally, the diagram identifies the state rooms and principal spaces as areas of the highest significance. These rooms are central to the building's historic function and social hierarchy, featuring intricate detailing, high-quality materials, and craftsmanship that reflect the opulence of the period. Secondary spaces, including service areas and back-of-house locations, are acknowledged as being of lesser significance, reflecting their utilitarian purpose within the historic context of the building.

The following diagrams illustrate a clear visual hierarchy of heritage significance across the site. Areas and features have been assessed in terms of their historical, architectural, and evidential value, using a graded scale to communicate their relative importance.

The process involved mapping the building and its constituent elements, cross-referencing historical sources (see appendices) and the listing. The diagrams help to clarify which parts of the site are most sensitive to change and where there may be greater opportunity for appropriate intervention.

By presenting this information visually, the diagrams support transparent and informed decision-making, ensuring that any proposed alterations are guided by an understanding of what matters most, why, and where.

To aid clarity and readability, these diagrams are repeated across the following pages, with annotations tailored to each specific element of the proposal.

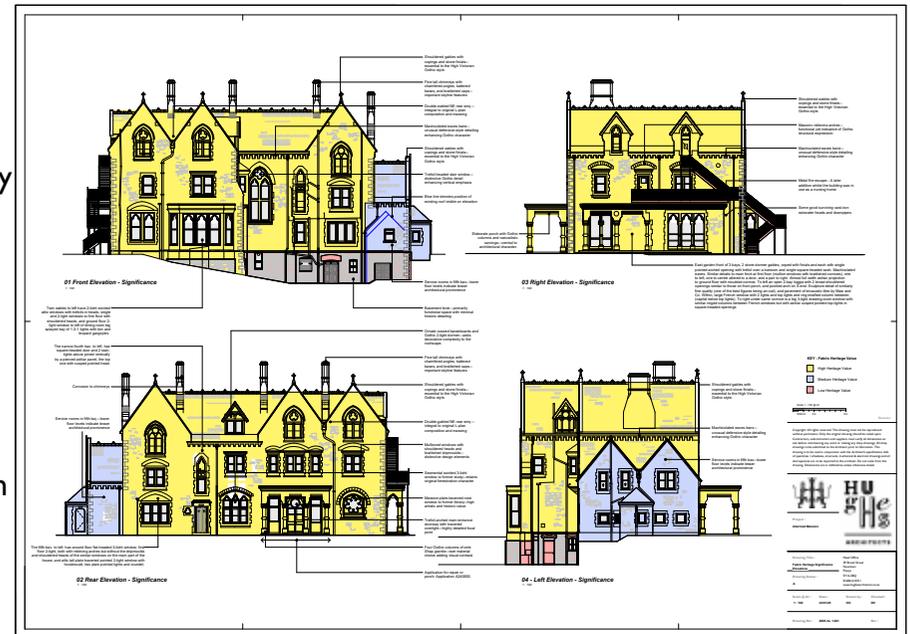
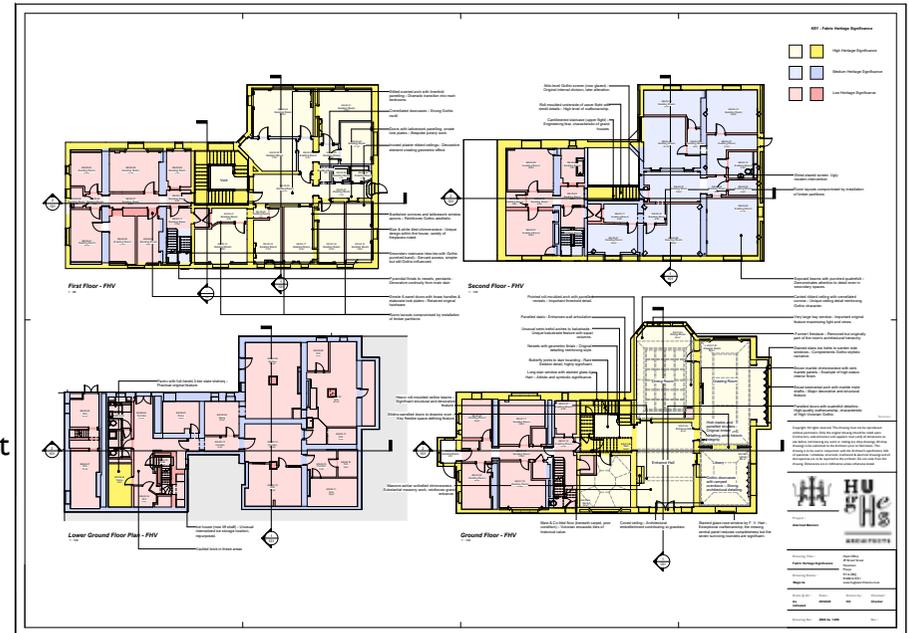


Figure 23. Significance Drawings



3.0 ARCHITECTURAL SIGNIFICANCE

Significance Framework for Plas Abermad (Grade II*)

To inform the internal reconfiguration at Plas Abermad, rooms are grouped into High, Medium, and Low significance. Interventions scale with sensitivity: minimal in High areas, moderate in Medium, and more extensive in Low.

High Significance

Where: Principal staterooms (Great Hall, Drawing Room, Library), main stair and corridors

Approach:

- Virtually no alteration of historic fabric
- Any service runs or repairs must be fully reversible
- New fittings discreet and subordinate in design
- All new design should be distinguishable or set away from existing fabric

Medium Significance

Where: Secondary reception/service rooms and/or rooms refitted in 19th/20th century

Approach:

- Sensitive adaptation (e.g. adding en-suite, opening partitions) while retaining key features
- Repair over replacement; any new work deferential in form
- Modern upgrades (thermal, accessibility) carefully integrated

Low Significance

Where: Later 20th-century back-of-house areas (staff bedrooms, storage, unsympathetic fittings)

Approach:

- Primary focus for extensive reconfiguration (kitchens, bathrooms, circulation)
- Removal of intrusive newer partitions and finishes
- New layouts still constrained by heritage, but respectful of adjoining rooms

KEY - Fabric Heritage Significance

		High Heritage Significance
		Medium Heritage Significance
		Low Heritage Significance

KEY - Fabric Heritage Significance

		High Heritage Significance
		Medium Heritage Significance
		Low Heritage Significance

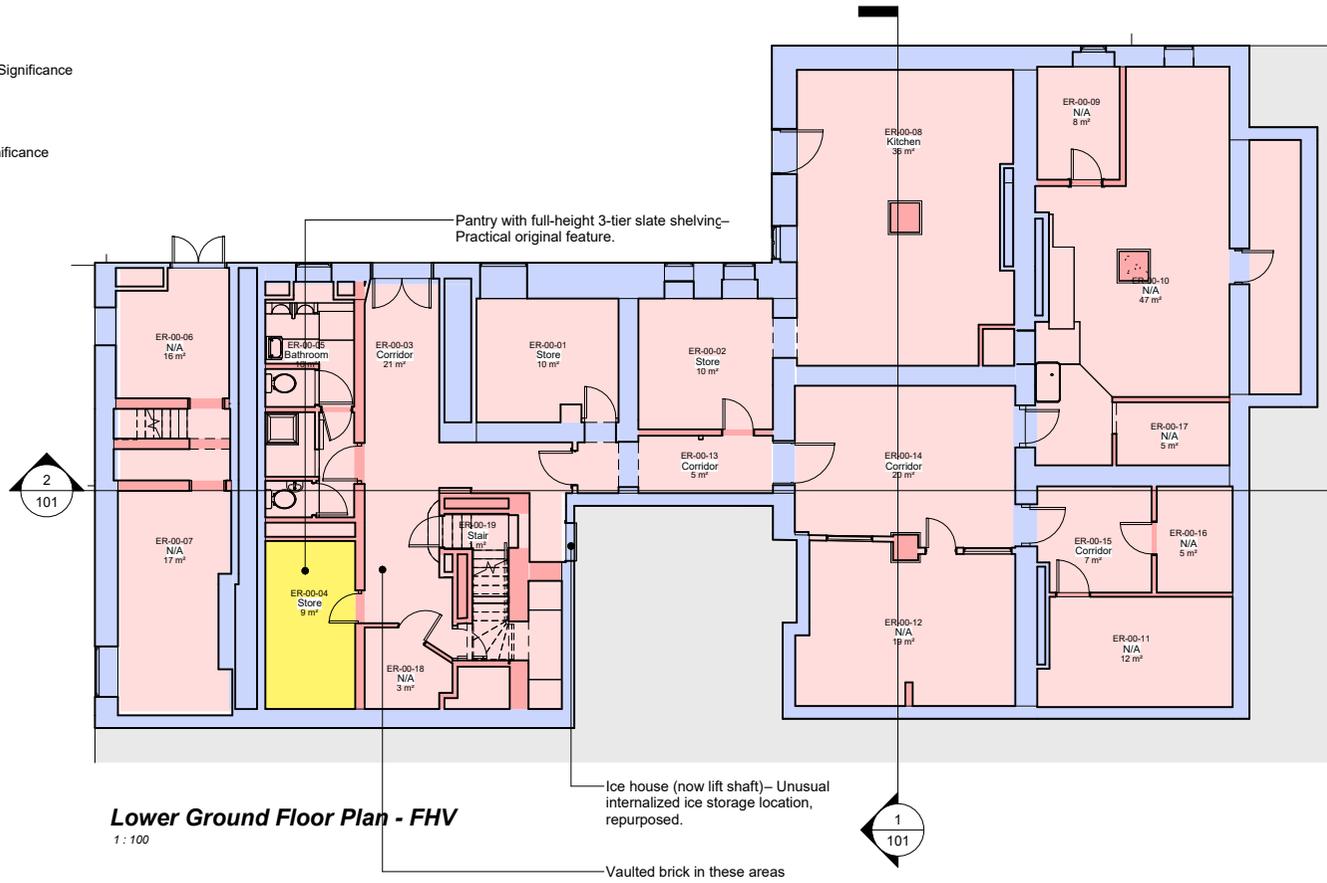
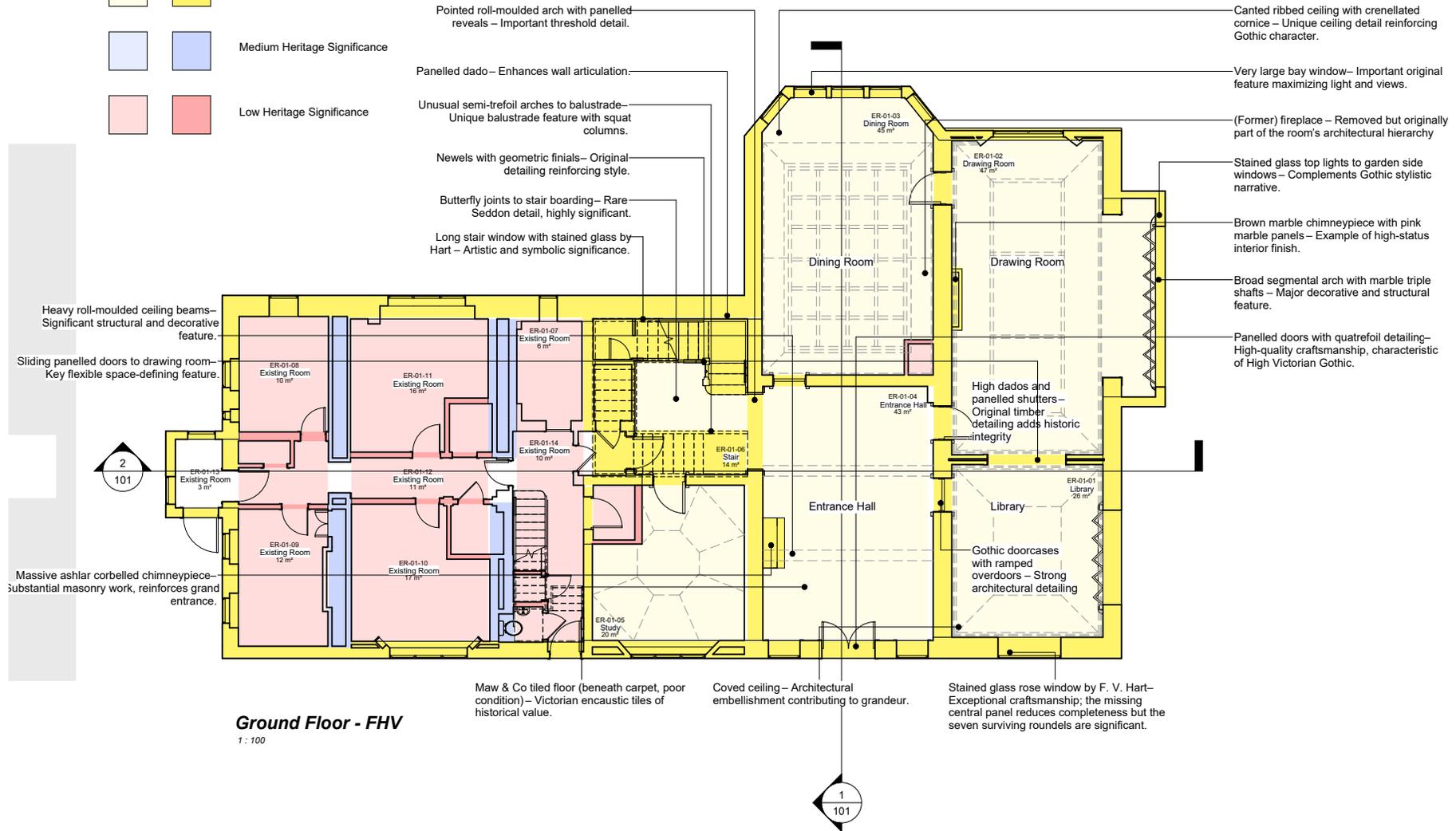


Figure 24. Significance Drawing - Lower Ground Floor Plan

KEY - Fabric Heritage Significance



Ground Floor - FHV
1:100

Figure 25. Significance Drawing - Ground Floor Plan

KEY - Fabric Heritage Significance

		High Heritage Significance
		Medium Heritage Significance
		Low Heritage Significance

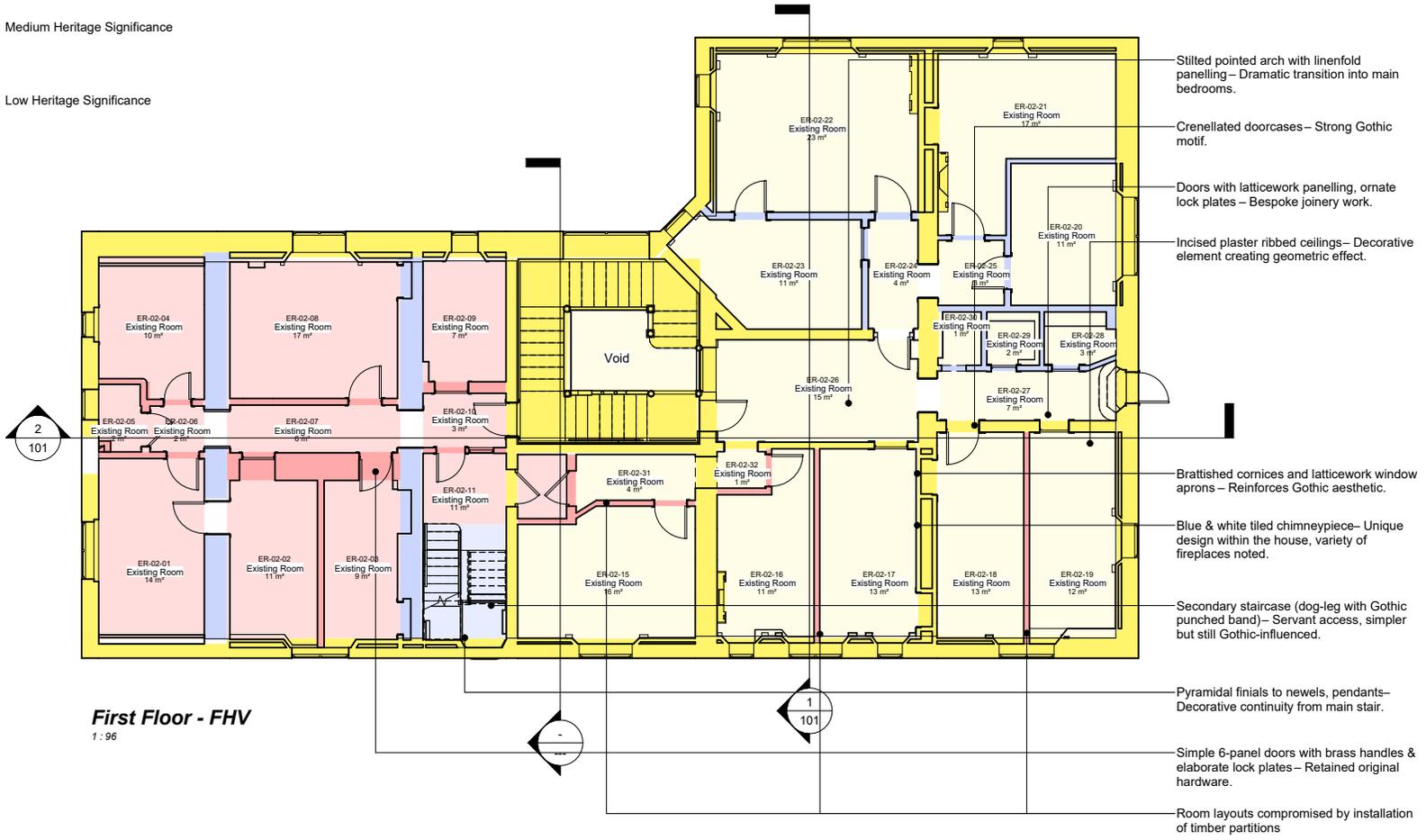


Figure 26. Significance Drawing - First Floor Plan

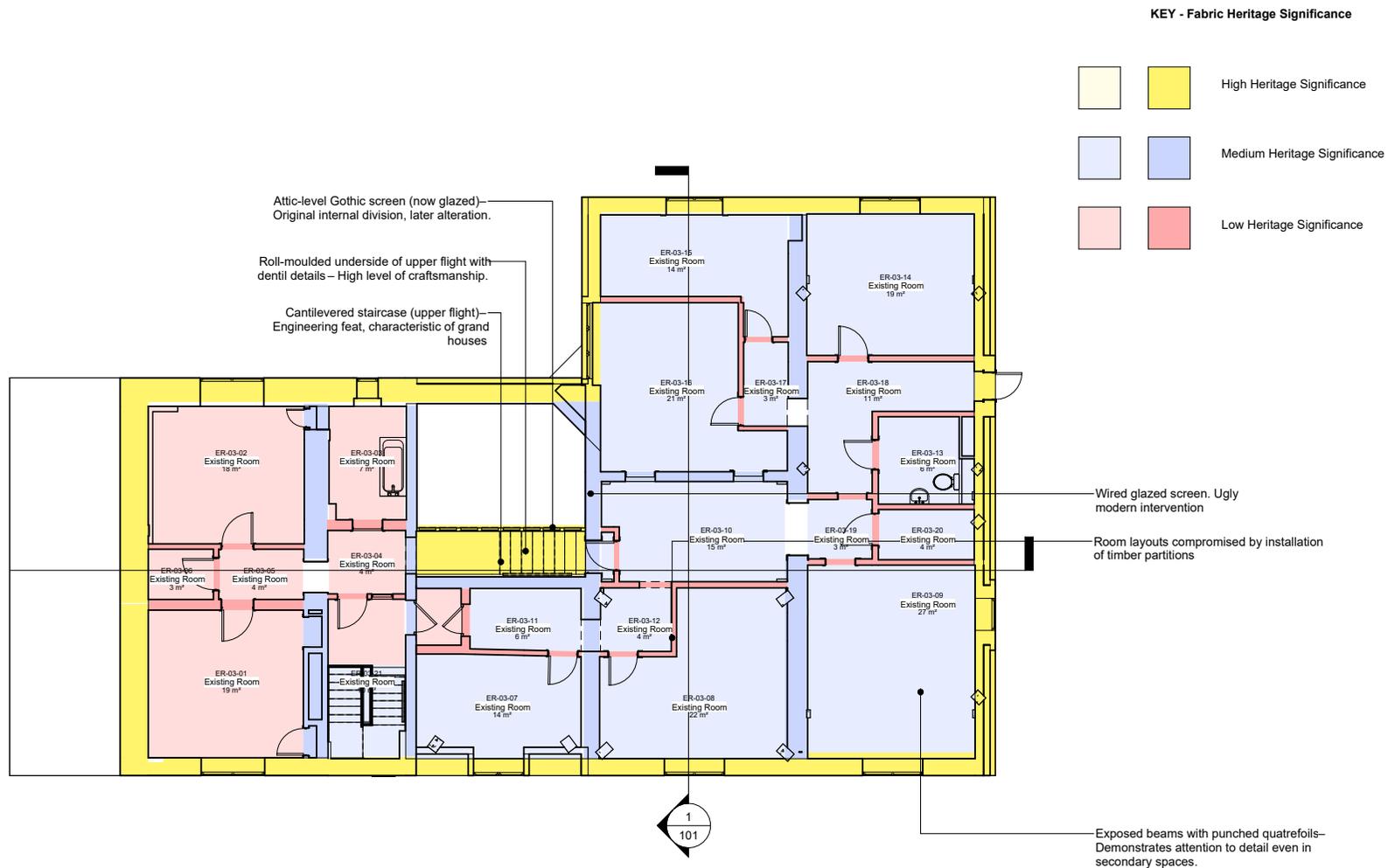


Figure 27. Significance Drawing - Second Floor Plan

KEY - Fabric Heritage Significance

- High Heritage Significance
- Medium Heritage Significance
- Low Heritage Significance



Figure 28. Significance Drawing - North Facing Elevation

KEY - Fabric Heritage Significance

- High Heritage Significance
- Medium Heritage Significance
- Low Heritage Significance



03 Right Elevation - Significance

1 : 100

Figure 29. Significance Drawing - East Facing Elevation

KEY - Fabric Heritage Significance

- High Heritage Significance
- Medium Heritage Significance
- Low Heritage Significance



Figure 30. Significance Drawing - South Facing Elevation

KEY - Fabric Heritage Significance

-  High Heritage Significance
-  Medium Heritage Significance
-  Low Heritage Significance



04 - Left Elevation - Significance

1 : 100

Figure 31. Significance Drawing - West Facing Elevation

3.0 ARCHITECTURAL SIGNIFICANCE

3.2 Evidential Value

The evidential value of Plas Abermad lies in its detailed representation of High Victorian Gothic architecture and its construction history. As a design by John Pollard Seddon, a leading figure in Victorian architecture, the house exemplifies the era's stylistic and structural elements, including its use of local and imported stone, complex roof structure, and elaborate Gothic detailing. The original drawings and stained glass designs, preserved at the Victoria and Albert Museum, provide invaluable insights into the architectural intent and craftsmanship of the period.

A sensitive residential conversion presents an opportunity to reinforce and reveal the evidential value of Plas Abermad by retaining and celebrating its original fabric and detailing. Key architectural features such as the carved stonework, window tracery, timber elements, and decorative finishes can be conserved and interpreted within the new use, allowing the building's historical narrative to remain legible. Interventions should aim to be reversible and minimal, ensuring the integrity of Seddon's original vision is preserved while adapting the building for contemporary living. Where modern services or subdivisions are required, these will be introduced in a manner that avoids harm to significant historic fabric.

Note extremely limited works within the principle rooms. The only work significant work required is a larger opening where the current opening is for the dumb waiter. All the change in this part of the building including this one are all reversible and the stair allows for a free standing pod that doesn't touch the walls.

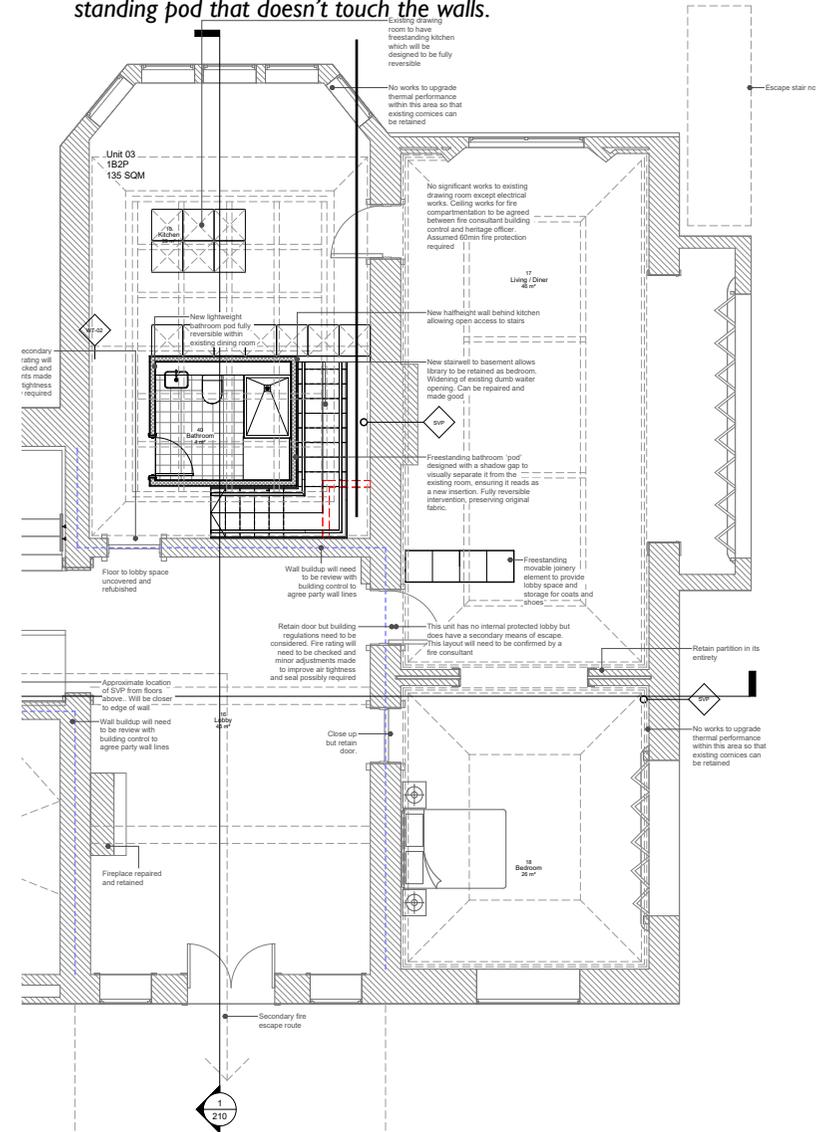


Figure 32. Proposed Ground Floor Plan

3.0 ARCHITECTURAL SIGNIFICANCE

3.4 Aesthetic Value

The aesthetic value of Abermad is rooted in its exemplary High Victorian Gothic design, characterized by its intricate detailing and grand architectural features. Designed by John Pollard Seddon, the house showcases an impressive array of elements, including its asymmetrical L-plan layout, ornate stone carvings, elaborate Gothic tracery, and striking slate roofs with tall chimneys. The porch, with its massive columns, Gothic leaf-carving, and finely detailed stonework, serves as a focal point of aesthetic grandeur, reflecting the high craftsmanship and artistic ambition of the period.

A light-touch residential conversion also offers the opportunity to preserve and enhance Abermad's aesthetic value by maintaining its richly crafted interiors and striking external composition. The expressive Gothic detailing—seen in the stone carvings, polychromatic materials, stained glass, and dramatic rooflines—should be retained and carefully conserved to reinforce the building's visual impact and artistic intent. Any new additions or alterations should be restrained and subordinate, using complementary materials and forms that sit harmoniously within the existing architectural language. In doing so, the conversion can celebrate the building's visual richness while ensuring it remains a lived and appreciated part of the landscape. The external alterations are extremely minor.

These external alterations are:

- A new roof mounted AOV for Part B purposes
- One new conservation rooflight on the East facing roof
- Double french doors on a West facing return of the lower ground floor
- 2 no. replacement windows on lower ground floor

Note: extremely limited works to external principal elevations of building, see below.



Figure 35. Proposed Elevations

3.0 ARCHITECTURAL SIGNIFICANCE

3.5 Communal Value

The communal value of Plas Abermad is significant as it represents an important piece of local heritage and a testament to the region's historical and architectural legacy. As one of the most prominent High Victorian Gothic houses in Wales, Plas Abermad holds a special place in the collective memory of the community and serves as a symbol of the area's rich historical past. Its association with notable figures such as Lewis Pugh Pugh, a prominent MP and local figure, adds to its significance within the local historical narrative.

A sensitive residential conversion can help sustain and even enhance Plas Abermad's communal value by ensuring the building remains a visible and meaningful presence within the local landscape. Continued use will foster a sense of stewardship and connection, allowing the community to engage with the building not only as a historic landmark but as a lived and evolving place. Opportunities for occasional public access, open days, or local heritage initiatives could support broader community appreciation and understanding of Abermad's significance. In this way, the conversion can reinforce its role as a cultural touchstone and contribute positively to local identity and pride.

3.6 EXISTING CONDITION

Plas Abermad is currently unoccupied and has suffered from prolonged neglect, leaving it in a generally poor state of repair. While the building retains much of its original structure and character, years of vacancy and minimal maintenance have led to issues such as water ingress, internal damp, and general fabric deterioration. The absence of regular use and upkeep has accelerated the decay of internal finishes, particularly in the more elaborate parts of the house.

The building was previously used as a nursing home, a function which resulted in a number of unsympathetic alterations. These include the installation of modern partitions, fire doors, and clinical finishes that obscure or interrupt the historic fabric and spatial qualities of the original design. While these interventions are largely reversible, they have had a cumulative impact on the building's legibility and aesthetic coherence. Our approach will be to undo some of these alterations. See across for an example

Despite this, the core architectural features of Plas Abermad remain largely intact. Significant elements such as fireplaces, decorative plasterwork, timber panelling, and original joinery survive beneath later modifications, though many are in need of conservation, but will be retained. The principal state rooms—once the heart of the house—are among the most affected by decay, with some evidence of water damage, damaged finishes, and failing windows. Nonetheless, the survival of so many original details offers a strong foundation for sensitive restoration, and presents a rare opportunity to recover and celebrate the building's former grandeur.

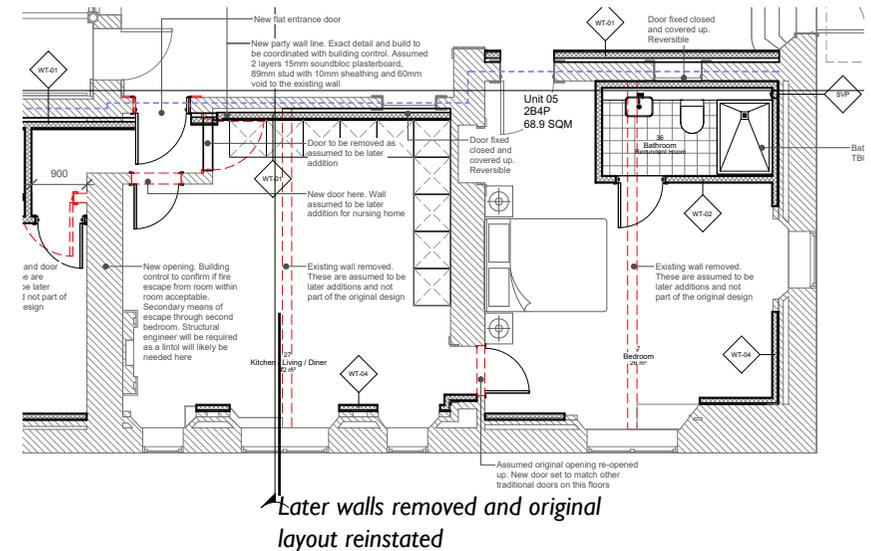


Figure 36. Proposed First Floor Plan

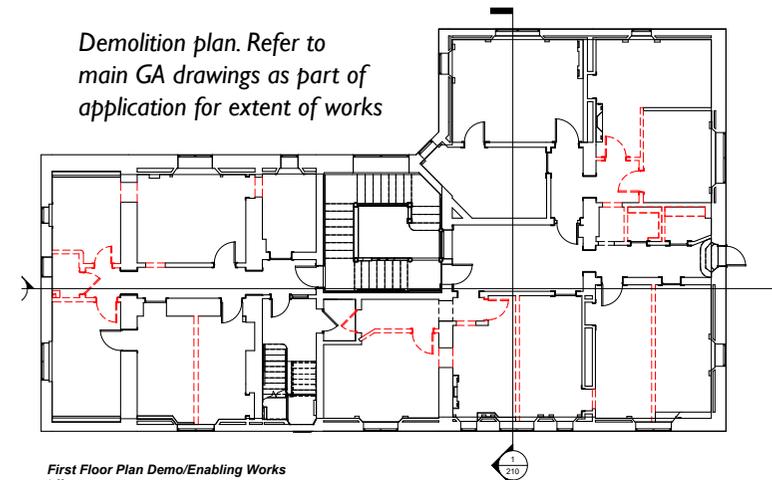


Figure 37. Proposed Demolition Plan - First Floor

4.0 PLANNING HISTORY

763020 (full planning)	Extension and improvements (The Lodge, Abermad)	Approved 30.11.1976
840804 (full planning)	Use as residential care home for the aged	Approved with conditions 23.01.1985
850286 (full planning)	Bungalow for staff	Approved with conditions 24.06.1985
870778 (full planning)	Bungalow	Approved with conditions 23.10.1987
931289 (var / removal of condition)	Removal of condition 2 (use in connection with adjacent home)	Refused 10.02.1994
940086 (outline)	15 single bed apartments, sheltered housing / retirement village	Refused 21.03.1994 Dismissed on appeal
940087 (outline)	Sheltered housing / retirement village – 7 bungalows	Refused 21.03.1994 Dismissed on appeal
940088 (outline)	Sheltered housing / retirement village - 5 bungalows	Refused 21.03.1994 Dismissed on appeal
990397 (full planning)	Erection of single storey extension (The Lodge, Abermad)	Approved with conditions 16.06.1999
A001137 (var / removal of condition)	Removal of condition 2 of 850286 (occupancy condition)	Approved with conditions 15.12.2000
A030389 (full planning)	Variation / removal of condition from residential home for the aged to residential care home with nursing for substance misusers	Approved with conditions 18.06.2003
A210418 (householder planning)	Erection of double garage with home office above (Maliks – adjacent)	Approved with conditions 09.06.2021
A220649 (Certificate of lawful use)	C3 dwelling house (Maliks – adjacent)	Certificate granted 21.06.2023
A230574 (listed building consent)	Internal alterations to bedrooms to create an en-suite in each one	Withdrawn 01.09.2023

Cyngor Sir CEREDIGION County Council

Russell Hughes-Pickering
Township Development Consultant / Licensed as Architects
Corporate Lead Officer - Economy and Regeneration
Township Ceredigion, Penarth, Aberystwyth, SY23 4ES
www.ceredigion.gov.uk



PLANNING DECISION

The Historic Environment (Wales) Act 2023

The Listed Buildings and Conservation Areas (Procedure and Interest Rate) (Wales) Regulations 2024

NOTIFICATION OF DECISION ON APPLICATION FOR LISTED BUILDING CONSENT

Applicant:
Mark Sandford
Plas Abermad Nursing Home, Abermad Mansion
Llanfarian
Aberystwyth
Ceredigion
SY23 4ES

Agent:
Oliver O'Neill
Hughes Architects
25 Broad Street
Newtown
SY16 2BG

Application No: A240655 **Grid Ref:** 260026.49 276091.53

In pursuance of its powers under the above mentioned Act, CYNGOR SIR CEREDIGION COUNTY COUNCIL as the Local Planning Authority hereby consents to:

Repair work to roof, lean to and porch structures.
Abermad Mansion, Llanfarian, SY23 4ES

Subject to the following conditions:

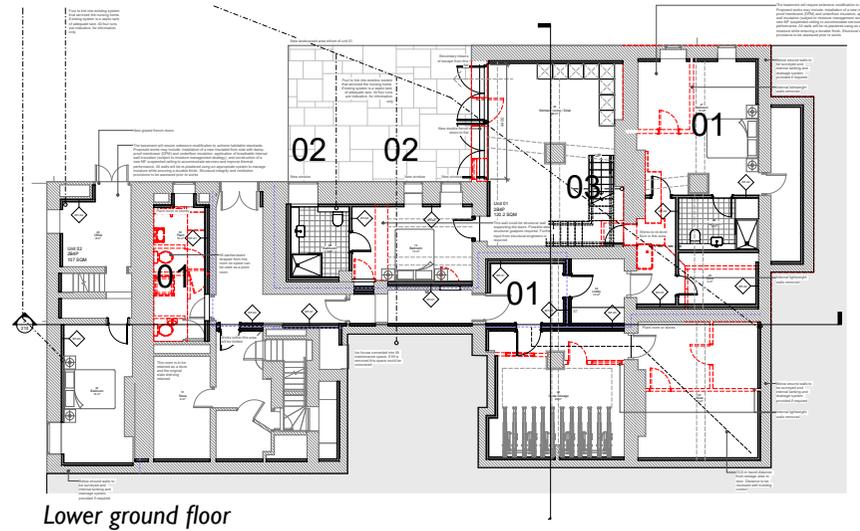
- The works covered by this consent must be begun no later than the expiration of 3 years beginning with the date of this consent.
- The development shall be carried out in accordance with the following approved plans and documents:
 - Location plan, received 16th September 2024
 - Existing and proposed block plan, received 30th August 2024
 - Abermad Mansion Bat Report Version 1, dated 2nd September 2024 Dave Rogerson, received 30th October 2024
 - Method statement to be used with a bat development licence application – Abermad, Aberystwyth Version 2, dated 09/11/2024 Dave Rogerson, received 22nd November 2024
 - Abermad Mansion Conservation Plan (ecology) Dave Rogerson, received 22nd November 2024
 - Biosecurity Risk Assessment (ecology), received 22nd November 2024
 - Heritage Impact Assessment Abermad Mansion, received 18th September 2024
 - Condition report for the porch masonry (and methodology), Abermad Mansion Llanfarian, Aberystwyth SY23 4ES by Archstone Masonry Ltd
 - Drawing showing porch masonry repairs by Richard Waite Masonry Services, Architectural Stone Masonry Specialists, dated 12th June 2024, received 30th August 2024
- Prior to commencement, a method statement for the repair works which includes details of works to the roof, of any timber repairs required, and the protection of historic features and fabric shall be submitted to and approved in writing by the Local Planning Authority. The works shall proceed in strict accordance with the approved details.

A240655 LBC approval for repairs to roof under current applicant. Consented 08-01-2025

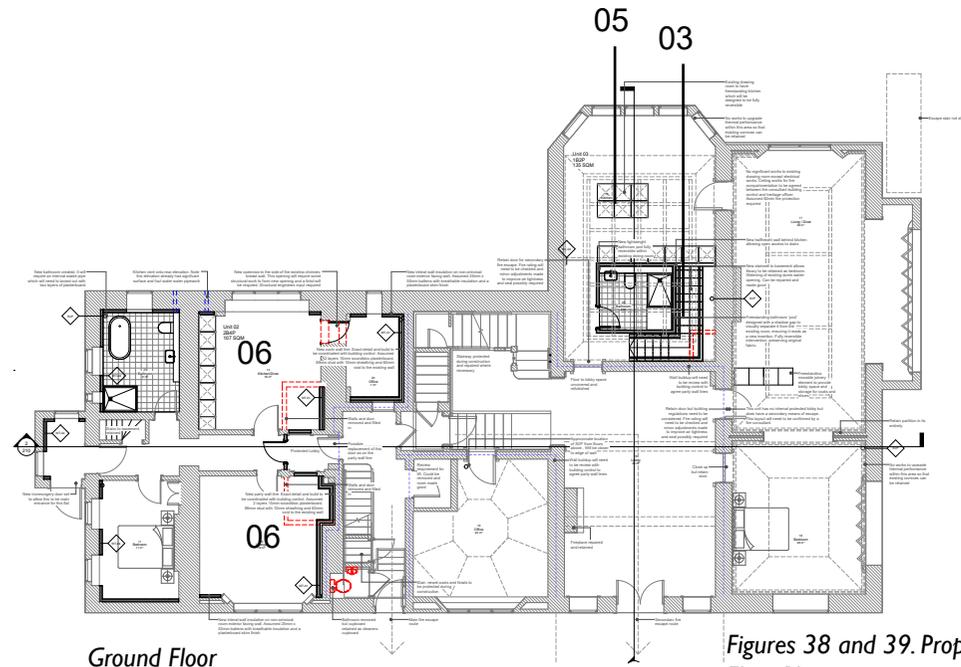
5.0 PROPOSALS

Summary of proposals - (Full details in matrix). Where numbers not shown they apply to multiple elements

1. Demolition of existing walls and introduction of new interior and party walls on the lower ground floor.
2. Works to replace windows and create new openings
3. Introduce new stairwell and bathroom pod to state rear state rooms
5. The proposal includes the introduction of a new fitted kitchen and central kitchen island into the current dining room space to facilitate contemporary residential use.
6. The works involve internal alterations to the servant areas on the west side of the ground floor, including the installation of new wall linings, repositioning of doorways, and the creation of new bathroom facilities to support residential use.



Lower ground floor



Ground Floor

Figures 38 and 39. Proposed Floor Plans

5.0 PROPOSALS

Summary of proposals - (Full details in matrix) Where numbers not shown they apply to multiple elements

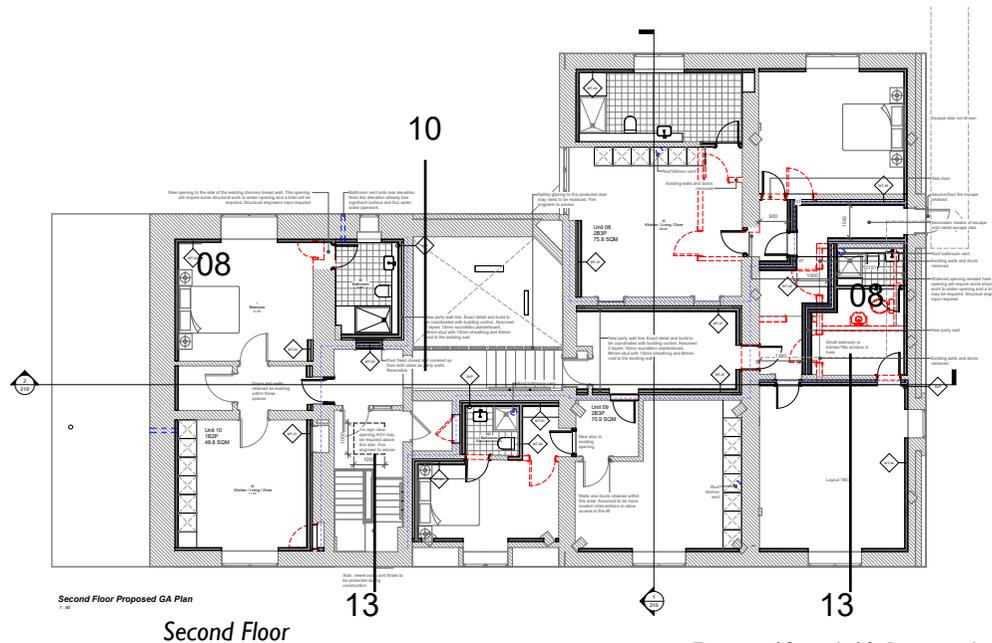
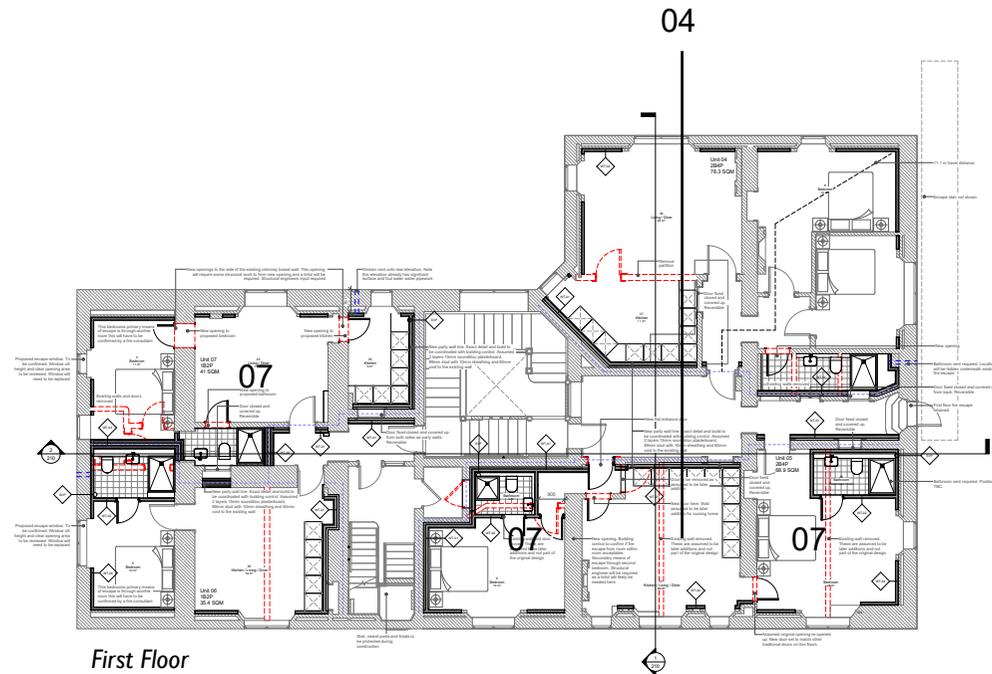
4. The proposed works involve the removal of non-original partitions and the insertion of new internal walls to reconfigure the first floor into two self-contained residential units, Units 04 and 05.

7. The proposal involves substantial internal reconfiguration across the entire first floor, including the removal of selected walls, addition of new wall linings, installation of party walls, and the fitting of kitchens and bathrooms within each unit to facilitate independent residential living.

8. The proposed works involve the removal of some existing partitions, installation of new wall linings and party walls, and fitting of bathrooms and kitchens to create independent residential units across the second (top) floor.

10. Application of intumescent paint system to all exposed timber elements of the second-floor linking stair to achieve 30-minute fire resistance in accordance with Building Regulations Part B.

13. Introduction of a new conservation-style rooflight to Unit 11 attic space and a 1m² AOV (Automatic Opening Vent) positioned over the stair core for smoke ventilation.



Figures 40 and 41. Proposed Floor Plans

5.0 HERITAGE IMPACT MATRIX

The aim of this Heritage impact matrix is to demonstrate the applicant's clear ambition to respect and celebrate the historic and architectural significance of Plas Abermad, while undertaking sensitive works to ensure its long-term conservation and viable reuse. The proposals seek to secure the building's future through a light-touch residential conversion that sustains its heritage values and reinstates its role as a living, functional part of the community.

Externally, the scheme will preserve the character and setting of the building, with minimal changes proposed to the envelope. Where necessary, interventions—such as the replacement of windows or minor alterations to accommodate use—will be carefully detailed to align with the building's original character and materials, reflecting historic precedent where appropriate.

The likely impacts of the proposals have been assessed in the Heritage Impact Matrix on the following pages, demonstrating a clear and measured approach to change that supports both the preservation of Plas Abermad's historic fabric and its future as a cherished, usable homes.

Proposed Work	Justification	Significance of Existing Fabric	Potential Heritage Benefits of work	Potential harmful impact of work	Mitigation Strategy
<p>1.The proposed work involves the demolition of existing internal walls and the construction of new interior and party walls on the lower ground floor to accommodate a revised layout for residential use. Refer to dwg Z005.3a.3a.1.201</p>	<p>This intervention is necessary to enable a more functional and liveable configuration of the lower ground floor; aligning the space with modern residential standards while ensuring its long-term usability and viability.</p>	<p>The existing fabric in this area holds limited historical value, as it primarily consists of later, non-original interventions associated with the building's use as a nursing home, which have compromised the legibility of the original plan.</p>	<p>The removal of intrusive and unsympathetic modern partitions offers the opportunity to uncover and reinstate aspects of the original architectural layout and finishes, thereby enhancing the building's historic character and spatial clarity.</p>	<p>There is a risk that some elements of historic fabric, which may have survived within or behind later alterations, could be inadvertently lost or damaged during the demolition and construction process.</p>	<p>A detailed fabric survey and photographic record will be carried out prior to any demolition, allowing for the identification and preservation of any surviving historic features. Where original fabric is uncovered, it will be assessed by a conservation specialist and either retained in situ or carefully recorded and stored for potential reinstatement. New walls will be constructed using lightweight, reversible methods that avoid damage to the underlying structure, and their placement will be guided by historic room divisions where legible. Clear differentiation between old and new will be maintained through subtle design detailing and material choices, ensuring the historical evolution of the space remains understandable. All works will be monitored on-site to allow responsive conservation decisions as the project progresses.</p>
<p>2.The proposed works involve replacing deteriorated existing windows and introducing new window openings on the lower ground floor to improve natural light, ventilation, and usability for residential purposes Refer to dwg Z005.3a.3a.1.201</p>	<p>These interventions are required to upgrade the performance of the building envelope in terms of energy efficiency and habitability, while also making the lower ground floor spaces more suitable for modern residential use.</p>	<p>The existing windows are either non-original or in poor condition due to previous alterations during the building's nursing home use, and the affected area is of relatively low architectural significance compared to the principal elevations and upper floors.</p>	<p>Replacing inappropriate or damaged windows with well-designed, historically sensitive alternatives can enhance the appearance and integrity of the building, while new openings may help rebalance and activate elevations that were previously neglected or altered insensitively.</p>	<p>The introduction of new openings may result in the loss of historic masonry and visual disruption to original proportions or rhythms of the elevation if not carefully designed and located.</p>	<p>All replacement windows will be designed to reflect the scale, material, and detailing of historically appropriate examples found elsewhere in the building, using timber frames and traditional profiles. New openings will be limited in number and strategically located on secondary elevations to minimise visual impact, and will be clearly detailed as modern interventions. Any new work will be preceded by a detailed assessment of the affected walls, with careful consideration given to avoiding the removal of significant historic stonework or detailing. Conservation oversight during construction will ensure that the works respect the character and hierarchy of the original façade.</p>



Figures 42 and 43. Photos of the lower ground floor showing existing condition. Images to support heritage matrix proposed works 01

Figures 44 and 45. Photos of the lower ground floor showing existing windows to be replaced. Images to support heritage matrix proposed works 02

Proposed Work	Justification	Significance of Existing Fabric	Potential Heritage Benefits of work	Potential harmful impact of work	Mitigation Strategy
<p>3. The proposal includes the insertion of a new open stairwell to improve vertical circulation between the basement and upper floors, the installation of a self-contained bathroom pod, and the introduction of a new kitchen within one of the principal state rooms. Refer to dwg Z005.3a.3a.1.202</p>	<p>These interventions are necessary to support the conversion of the building to residential use, providing essential modern amenities and improved access while minimising disruption to historic fabric elsewhere in the building</p>	<p>The principal state rooms are among the most significant interior spaces in the house, featuring original decorative detailing, spatial proportions, and finishes that reflect the building's High Victorian Gothic character and architectural ambition.</p>	<p>The continued domestic use of the room helps preserve its overall character and keeps its original function legible. Introducing a kitchen here avoids subdividing or disrupting other more vulnerable or altered parts of the house.</p>	<p>Installing a modern kitchen and island may obscure or damage historic fabric, including flooring or skirting, and visually compete with original decorative features. Plumbing and ventilation routes may also present risks to historic surfaces and detailing. The introduction of a new stairwell within a principal room carries a risk of physical harm to historic flooring and underlying structural elements. Although the proposed location coincides in part with the position of a former dumb waiter, which offers a precedent for vertical penetration through the floor, the scale of the intervention required for a staircase is significantly greater. The existing dumb waiter aperture is modest in size and likely involved only limited structural interruption, whereas a new stair will necessitate the removal of a larger section of floorboards, potential alteration to joists, and changes to skirting or decorative thresholds. This results in a higher degree of irreversible loss to original fabric. Careful design and construction detailing will be essential to minimise harm, such as retaining and recording any removed elements for future reinstatement, and clearly differentiating new structural insertions from historic material.</p>	<p>The kitchen will be designed as a high-quality, freestanding or easily reversible installation, with minimal impact on original finishes. The island and cabinetry will be set off original walls where possible to retain visibility of decorative elements. All service runs will be surface-mounted or concealed in new floor voids to avoid disturbance to historic floors or plasterwork. Materials and colours will be chosen to complement the room's character, and any interventions will be fully documented and carried out under conservation supervision.</p> <p>For example, kitchen units will be secured using floor-based fixing brackets within later replacement floorboards, rather than being fixed to original wall plaster or panelling, allowing the units to be removed without trace and avoiding any damage to significant surfaces.</p>
<p>4 The proposed works involve the removal of non-original partitions and the insertion of new internal walls to reconfigure the first floor into two self-contained residential units, Units 04 and 05. Refer to dwg Z005.3a.3a.1.203</p>	<p>This intervention is necessary to create functional and compliant residential layouts within the existing structure, responding to modern living standards while making use of parts of the building that have already experienced alteration and subdivision in the past.</p>	<p>While the first floor retains elements of its original plan and detailing, including fireplaces, joinery, and possibly cornicing, the existing partitions proposed for removal are later additions with limited heritage value. The overall significance lies in the surviving room proportions, circulation routes, and decorative features.</p>	<p>Removing unsympathetic modern interventions offers an opportunity to better reveal the historic proportions and layout of the first floor, with potential to enhance appreciation of original features. The reuse of this level helps secure the building's active future use and maintenance.</p>	<p>The introduction of new partitions may impact historic surfaces or obscure features such as cornices or window reveals. There is also a risk that new layouts may compromise the legibility of the original room hierarchy or plan form.</p>	<p>New partitions will be located and detailed to avoid significant features and will remain reversible wherever feasible. Where possible, layouts will align with historic subdivisions, minimising visual disruption to surviving proportions. Services will be routed carefully, and new fabric will be clearly distinguishable from original construction to maintain the building's legibility. All changes will be documented and guided by a conservation-led approach.</p>



Figures 46 and 47. Photos of the ground floor showing principle rooms. Figure 46 is looking toward existing dumb waiter intervention. Images to support heritage matrix proposed works 03

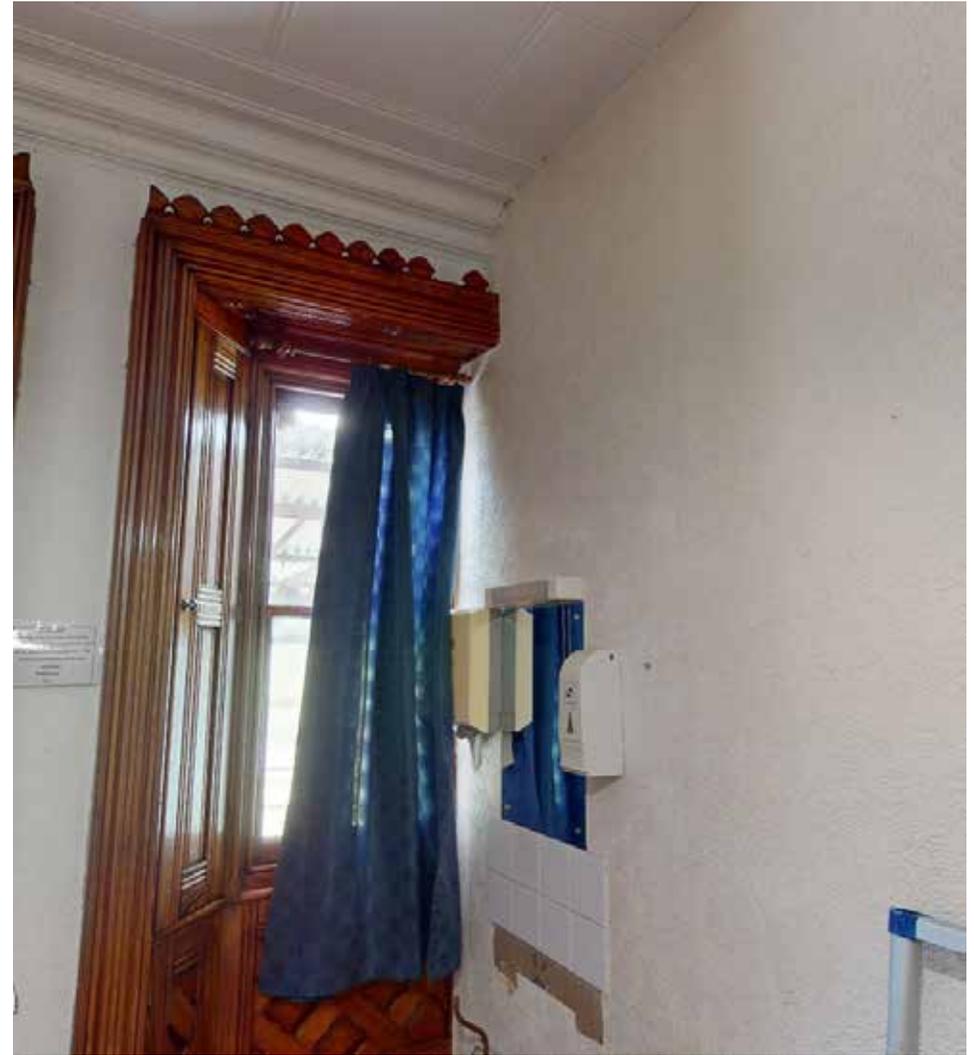


Figure 48. Photo of the first floor showing modern partition wall to be removed as part of works. Image to support heritage matrix proposed works 04

Proposed Work	Justification	Significance of Existing Fabric	Potential Heritage Benefits of work	Potential harmful impact of work	Mitigation Strategy
<p>5. The proposal includes the introduction of a new fitted kitchen and central kitchen island into the current dining room space to facilitate contemporary residential use. Refer to dwg Z005.3a.3a.1.201</p>	<p>Introducing a kitchen into this space supports the reactivation of the principal floor as part of a high-quality residential conversion, enabling the room to serve as a practical and sociable domestic space while maintaining its central function within the plan.</p>	<p>The dining room retains original proportions, decorative plasterwork, joinery, and other features typical of formal reception rooms in High Victorian houses. As a key interior space, it contributes strongly to the building's aesthetic and historical value.</p>	<p>By concentrating essential services and circulation improvements within a carefully designed layout, these works can allow for broader retention and appreciation of significant historic fabric in surrounding areas, enabling the building's viable reuse without widespread subdivision.</p>	<p>The insertion of new elements within the principal rooms risks disrupting their spatial qualities, damaging original decorative features, or introducing visual and material discord that could undermine the room's architectural coherence.</p>	<p>The stairwell and bathroom pod will be designed as freestanding, reversible insertions, clearly distinguishable from the historic fabric and avoiding direct attachment to significant surfaces. The kitchen will be carefully integrated within existing architectural niches or along less prominent walls, using bespoke joinery and materials sympathetic to the room's character. All interventions will avoid damage to ornamental plasterwork, panelling, or fireplaces, and will be guided by detailed heritage advice and conservation oversight throughout design and construction. Reversibility, legibility, and minimal intervention will be prioritised at all stages.</p> <p>Where fixings are unavoidable, they will be carefully located in areas of modern construction or within previously altered fabric. Informed by conservation best practice, any necessary fixings will be designed to respect the significance of the underlying substrate—avoiding fragile historic surfaces such as lime plaster, decorative timberwork, or dressed stone—and will use non-invasive or low-impact methods wherever possible to ensure long-term reversibility and minimal harm.</p>
<p>6 The works involve internal alterations to the servant areas on the west side of the ground floor, including the installation of new wall linings, repositioning of doorways, and the creation of new bathroom facilities to support residential use. Refer to dwg Z005.3a.3a.1.201</p>	<p>These changes are necessary to update outdated and utilitarian spaces with improved thermal performance, better internal circulation, and modern sanitary provision, enabling practical and sustainable use as part of the overall residential conversion.</p>	<p>The affected service areas are of lower heritage significance compared to the principal rooms, having undergone alterations during their institutional use and typically containing fewer decorative features or high-quality finishes.</p>	<p>The upgrading of these less significant spaces allows modern interventions to be concentrated in areas where they will have minimal visual and architectural impact, thereby reducing pressure on more sensitive parts of the building.</p>	<p>There is a risk that poorly considered reconfigurations could result in the loss of any surviving original service layouts, joinery, or historic surfaces, and may erode the historic relationship between service and formal areas.</p>	<p>A measured survey and condition assessment will be carried out to record and retain any original features of note, such as doors, architraves, or floor finishes. New wall linings will be designed to be breathable and reversible, avoiding unnecessary damage to historic fabric. Door relocations will respect original wall openings where possible and will avoid altering key historic partitions. Bathrooms will be designed as lightweight, contained insertions, using existing plumbing routes where feasible. Conservation guidance will inform all detailing, ensuring the integrity and legibility of the service wing is maintained.</p> <p>Where internal wall linings are required to improve thermal performance or accommodate service runs, these will be designed to minimise impact on historic fabric and preserve the legibility of original surfaces. In rooms of lower significance or those that have already undergone alteration, wall build-ups will be treated as reversible layers, avoiding direct bonding to historic masonry or decorative finishes.</p> <p>For example, the use of a breathable cork board insulation system—such as that produced by Ty-Mawr—offers a sustainable and conservation-friendly solution. This material can be applied mechanically with minimal fixings and without the need for cement-based adhesives or damaging interventions into historic plaster or stonework. Its vapour-permeable nature ensures that moisture movement within the existing structure is not compromised, while the lightweight, dry-fix system supports reversibility and ease of removal in future conservation works.</p> <p>All installations will be undertaken under conservation oversight, with detailed consideration given to ventilation, breathability, and preservation of historic finishes at junctions and reveals.</p>



Figure 49. Photo of the ground floor towards proposed free standing bathroom pod in middle of room. Note no impact on ceiling. Image to support heritage matrix proposed works 05



Figure 50. Photo of the ground floor Western rooms. Image to support heritage matrix proposed works 06.

Proposed Work	Justification	Significance of Existing Fabric	Potential Heritage Benefits of work	Potential harmful impact of work	Mitigation Strategy
<p>7. The proposal involves substantial internal reconfiguration across the entire first floor, including the removal of selected walls, addition of new wall linings, installation of party walls, and the fitting of kitchens and bathrooms within each unit to facilitate independent residential living. Refer to dwg Z005.3a.3a.1.203</p>	<p>These works are essential to adapt the first floor for multiple residential units, delivering the necessary infrastructure for self-contained accommodation while ensuring compliance with current building regulations and modern standards of comfort.</p>	<p>The first floor retains elements of the original plan form and historic detailing, though many areas have been previously altered, particularly during its institutional use. While less architecturally elaborate than the principal ground floor rooms, the spaces still contribute to the overall character and legibility of the building.</p>	<p>By concentrating residential units within an upper floor where prior alterations have already occurred, the proposal helps preserve the more significant ground floor interiors, allowing for an effective balance between conservation and viable re-use.</p>	<p>The removal of internal partitions may result in the loss of surviving historic fabric, such as lath and plaster walls, cornices, or joinery. The cumulative effect of kitchens and bathrooms may also compromise the character and spatial logic of historic rooms.</p>	<p>A comprehensive photographic and drawn record will precede works to document original features and plan forms. Where original walls or features are uncovered, these will be retained or incorporated into the new layout where feasible. New partitions and linings will be constructed using breathable, reversible systems to allow future flexibility and minimise physical impact. Kitchens and bathrooms will be designed to integrate sensitively within existing rooms, using freestanding or built-in elements that avoid disrupting significant features. All interventions will be overseen by a conservation specialist to ensure best practice throughout the works.</p>
<p>8. The proposed works involve the removal of some existing partitions, installation of new wall linings and party walls, and fitting of bathrooms and kitchens to create independent residential units across the second (top) floor. Refer to dwg Z005.3a.3a.1.204</p>	<p>These changes are necessary to bring the currently underused top floor into effective residential use, providing essential modern amenities while maximising the building's usable floor area within a sustainable development strategy.</p>	<p>The second floor, historically used for servant accommodation or ancillary spaces, contains fewer decorative elements than the floors below. However, elements such as original roof timbers, partitions, doors, or fireplaces may survive and contribute to the building's overall historical integrity.</p>	<p>Bringing the upper floor back into active use can help secure the long-term conservation of the roof and upper fabric, with opportunities to improve insulation and reduce deterioration through regular occupation and maintenance.</p>	<p>The reconfiguration may involve the loss of historic partitions, floor finishes, or joinery, and the introduction of kitchens and bathrooms may introduce services and moisture into areas not historically designed for the</p>	<p>New linings and partitions will be breathable and reversible, with services routed carefully to avoid cutting through significant timbers or finishes. Kitchens and bathrooms will be designed with passive ventilation strategies and moisture control to protect the historic envelope. Conservation oversight will ensure that the historic layout remains legible where possible, and that interventions respect the top floor's historic character and material palette.</p>



Figure 51. Photo of the first floor room showing modern partition wall to be removed as part of works. . Image to support heritage matrix proposed works 07.

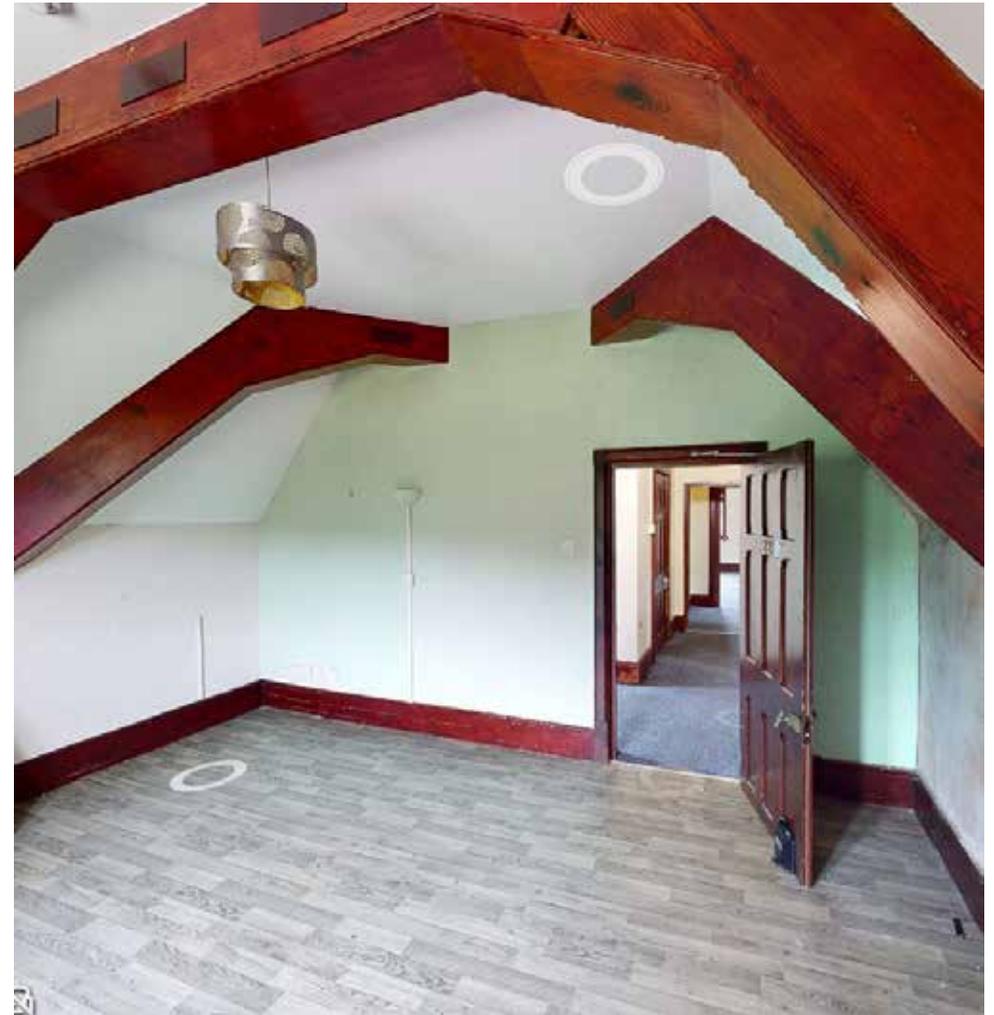


Figure 52. Photo of the second floor room showing attic spaces. Image to support heritage matrix proposed works 08.

Proposed Work	Justification	Significance of Existing Fabric	Potential Heritage Benefits of work	Potential harmful impact of work	Mitigation Strategy
<p>9. Upgrade existing internal doors to meet fire safety standards. This includes: Adding intumescent strips and cold smoke seals; Undertaking minor repairs to ensure doors are well-fitting and operational; Painting doors with Envirograf (or similar approved intumescent paint) in a finish appropriate to the building's character. Refer to dwg Z005.3a.3a.1.201202, 203,204</p>	<p>Required to comply with Building Regulations Part B in relation to fire safety as part of a change of use to residential accommodation. Retaining and upgrading original doors is preferable to replacement.</p>	<p>The doors contribute to the historic character and internal architectural hierarchy of the building. They are original or early features consistent with the period detailing.</p>	<p>Retains and reuses existing fabric, avoids loss of historic joinery, and demonstrates a sensitive approach to meeting fire safety while conserving the character of the building.</p>	<p>Visual impact from seals and intumescent finishes; possible minor alteration to door rebates or frames to accept fire seals. Risk of loss of detail or inappropriate finish if not handled carefully.</p>	<p>Use of reversible and low-impact methods (e.g. brush seals in rebate), fire products approved for use in heritage buildings, and colour-matched intumescent paints. All repairs to use traditional carpentry methods and be agreed with the conservation officer in advance.</p>
<p>10. Application of intumescent paint system such Envirograf or similar to all exposed timber elements of the second-floor linking stair to achieve 30-minute fire resistance in accordance with Building Regulations Part B. Refer to dwg Z005.3a.3a.1.201202, 203,204</p>	<p>Required to upgrade fire performance of an escape route as part of the building's change of use. The use of specialist fire-resistant paints avoids the need for cladding or replacement of historic materials.</p>	<p>The stair forms part of the historic circulation route and may include original timber balustrades, treads, risers, and stringers. These contribute to the internal character and spatial hierarchy of the building.</p>	<p>Allows continued use and exposure of original timber features, maintaining legibility of the stair's historic form and detail while upgrading fire performance.</p>	<p>Potential obscuring of wood grain or change in appearance due to multiple layers of intumescent coating; risk of incorrect application compromising aesthetic or performance.</p>	<p>Use of thin-coat intumescent systems designed for use on visible timber in heritage buildings. Colour-matched topcoat to blend with historic character. Works to be carried out by experienced contractor following conservation best practices. All products to be approved prior to application.</p>



Figure 53. Photo of an existing door to be retained. Image to support heritage matrix proposed works 09.

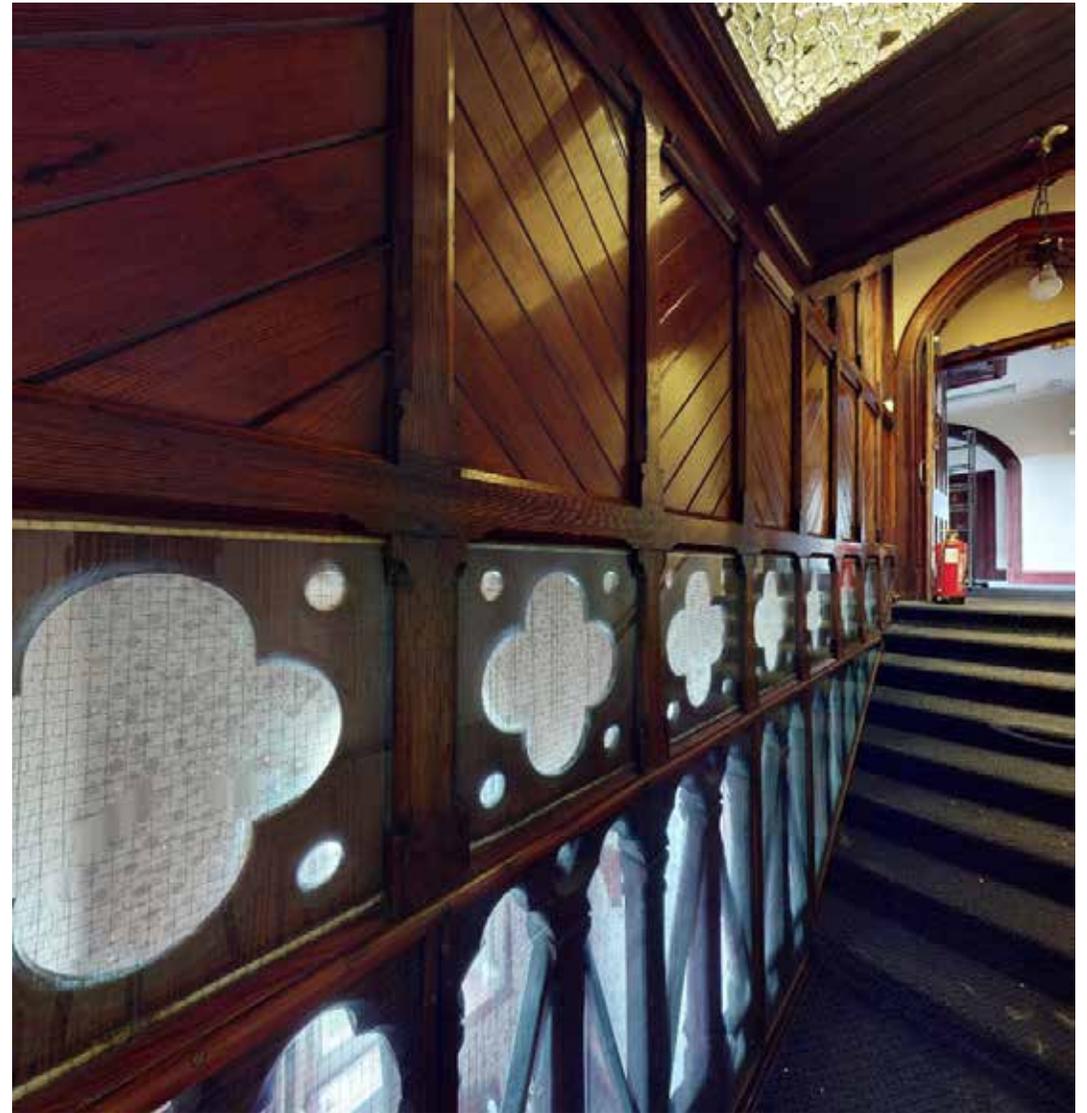


Figure 54. Photo of an existing partition to be retained. Image to support heritage matrix proposed works 10.

Proposed Work	Justification	Significance of Existing Fabric	Potential Heritage Benefits of work	Potential harmful impact of work	Mitigation Strategy
11. Installation of fire-rated curtains within attic spaces to compartmentalise areas and provide 30-minute fire separation in accordance with Building Regulations Part B. FIREFLYT Zeus Lite 90:30 is a flexible fire barrier or similar approved	Required as part of the fire safety strategy for the upgraded building use, ensuring safe means of escape and limiting fire spread through concealed roof voids.	The attic spaces may include original roof timbers, purlins, and rafters which contribute to the historic structure and are part of the building's architectural development.	Allows retention and continued visibility of the original timber structure by avoiding hard fire partitions or intrusive construction. Supports compliance without major fabric alterations.	Minor intrusion into roof voids with fixings; risk of damage to timbers during installation or from moisture build-up around impermeable curtain materials.	Use of lightweight, reversible, and minimally invasive fire curtain systems, fixed with minimal penetrations. Installers to avoid key structural members and follow a conservation-sensitive methodology. Curtain material to be breathable or vented to avoid condensation build-up. Works subject to Listed Building Consent.
12. Installation of an LDI category fire alarm system throughout the building and addition of mechanical extract ventilation to kitchens and bathrooms to meet Building Regulations requirements.	Required to comply with Approved Documents B and F for fire safety and ventilation. Essential for safe occupation and use of the building.	Ceilings and walls may include historic plaster, cornices, lath and plaster, or other period features. Some areas may contain original surface finishes or decorative features.	Enhances the safety and longevity of the building by providing early fire detection and improving indoor air quality, reducing long-term risk of moisture damage.	Potential loss or disturbance of original ceiling/wall finishes during installation of wiring, alarms, or ventilation ducts. Visible impact of extract terminals.	All routes for wiring and ducts to follow existing service voids or modern partitions where possible. Wireless alarm components to be used where appropriate. Extract terminals to be discreetly located to minimise external impact. All works to be carefully coordinated with conservation officer input and subject to Listed Building Consent.
13. Introduction of a new conservation-style rooflight to Unit 11 attic space and a 1m ² AOV (Automatic Opening Vent) positioned over the stair core for smoke ventilation. Refer to dwg Z005.3a.3a.1.002	The rooflight provides natural light and ventilation to habitable attic accommodation. The AOV is required to comply with Building Regulations (Approved Document B) for safe means of escape and smoke control.	The roof covering forms part of the building's historic character and visual setting. The internal stair void may retain historic ceiling elements or corncing.	Improved fire safety through compliant escape ventilation and enhanced use of upper storey accommodation without the need for larger structural alterations.	Introduction of new elements to the roof may alter its appearance. Possible loss of small areas of historic ceiling fabric or visual intrusion from AOV.	Use of conservation-style, low-profile rooflight with recessed flashing to match slate roof. AOV to be positioned discreetly and sized to minimum required dimensions. Internal works to be undertaken with care to retain historic features where present. All external changes have a low visual impact.

6.0 CONCLUSION

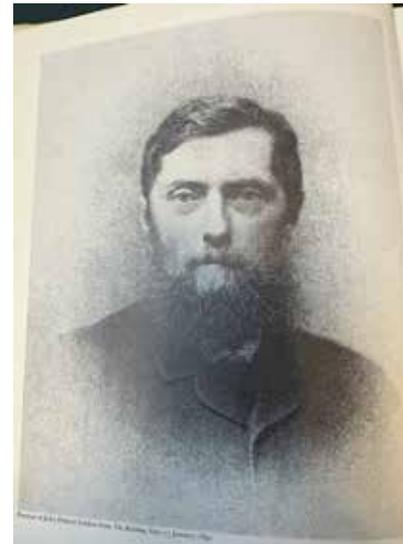
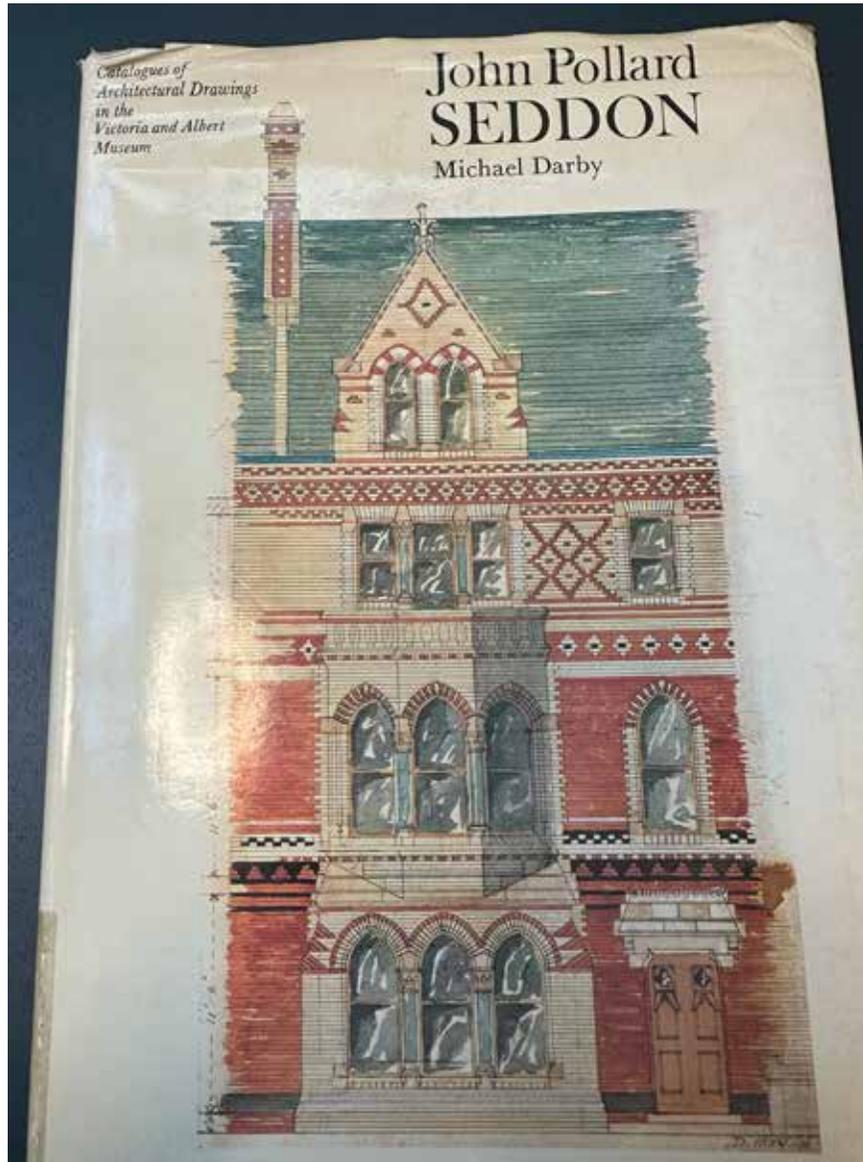
The proposed works at Plas Abermad are necessary to secure the long-term future of this nationally significant example of High Victorian Gothic architecture. A sensitive and well-informed conversion to residential use offers a sustainable and viable future for the building, preventing further decline and enabling ongoing care and occupation. The project recognises and respects the building's evidential, historical, aesthetic, and communal values, ensuring that its architectural character and layered history remain legible and appreciated. By concentrating modern interventions in less sensitive areas and applying reversible, conservation-led strategies throughout, the scheme allows Plas Abermad to adapt to contemporary needs without compromising its heritage significance. Ultimately, this project represents a positive model for the continued stewardship of a historic asset, offering a balance between preservation and practical re-use.

Disclaimer

This report has been prepared for the sole and exclusive use of Mr & Mrs Sandford for whom it was commissioned and has been prepared in response to their particular requirements and brief. This report may not be relied upon by any other party.

The Contracts (Rights of Third Parties) Act 1999 shall not apply to this report and the provisions of the said Act are expressly excluded from this report. This report may not be used for any purpose other than that for which it was commissioned. This report may not be reproduced and/or made public by print, photocopy, microfilm or any other means without prior written permission of Hughes Architects. The conclusions resulting from this study and contained in this report are not necessarily indicative of future conditions or operating practices at or adjacent to the site. Much of the information presented in this report is based on information provided by others. That information has neither been checked nor verified by Hughes Architects.

7.0 APPENDICES

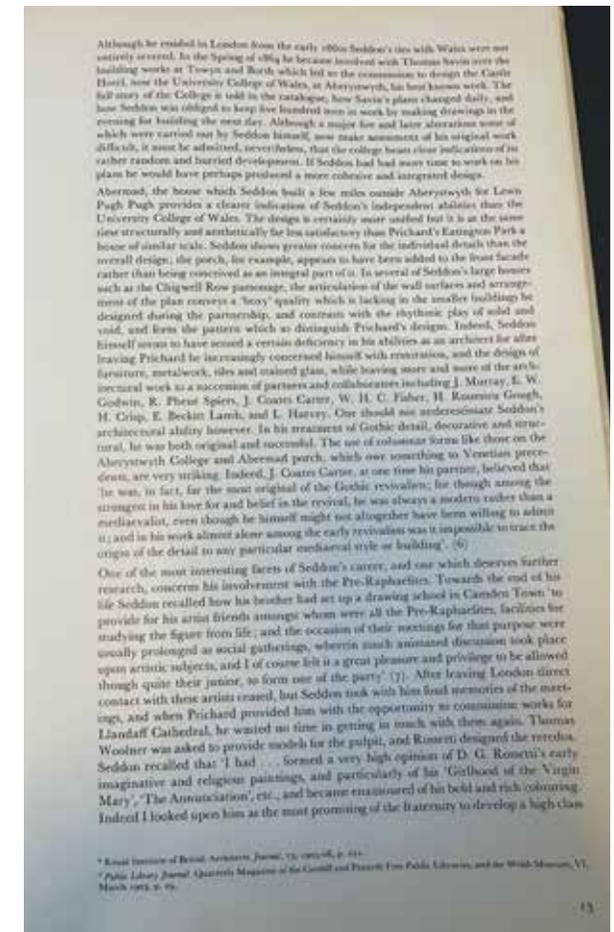


The following images are reproduced from *John Pollard Seddon*, by Michael Darby (RIBA Library Collection), with reference to Plas Abermad and the work of Seddon more broadly.

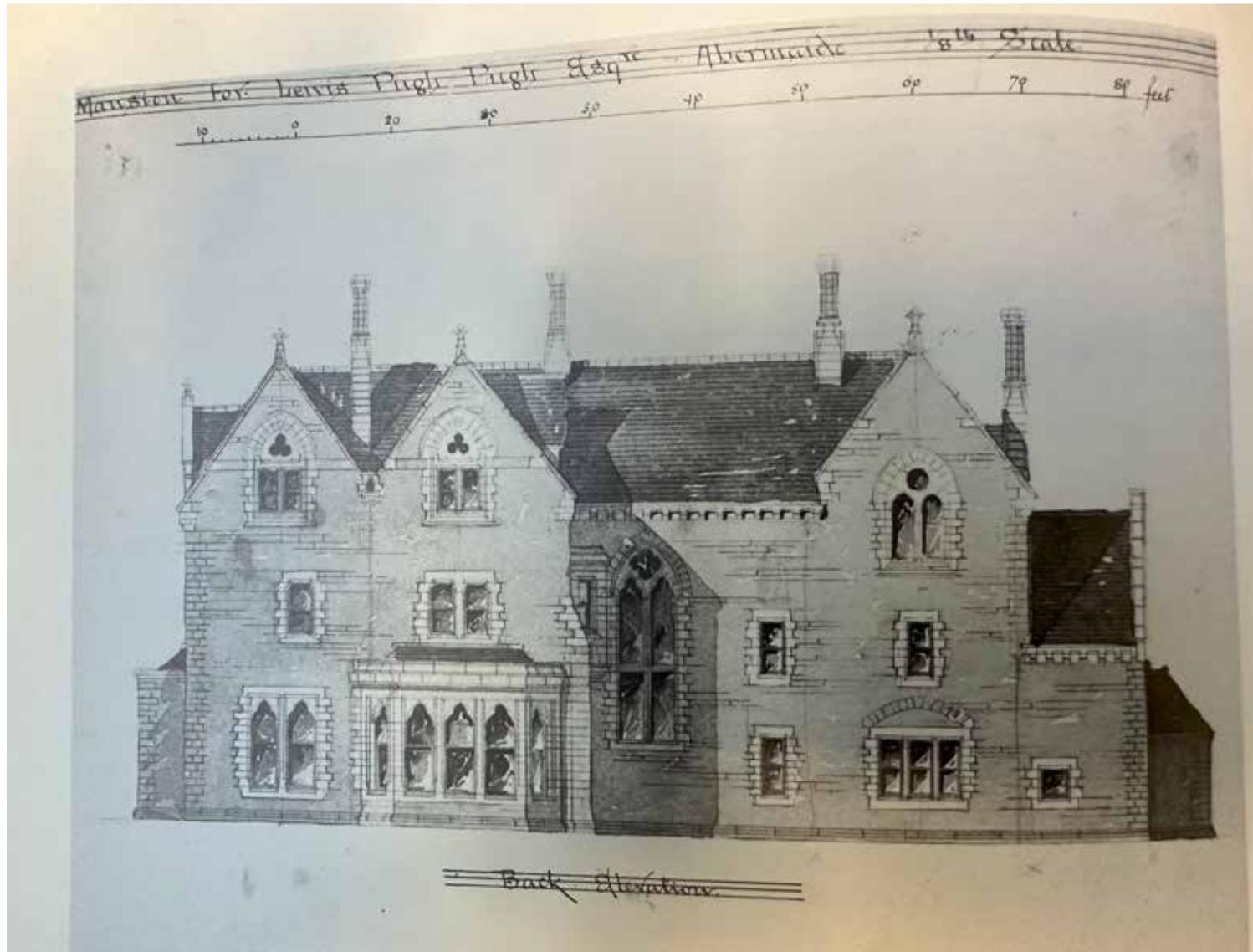
Included is a period photograph of John Pollard Seddon himself. The book offers historical context to the architect's vision and design ethos.

These materials support the understanding of the building's architectural origins and significance. All images are used for research and educational purposes under fair dealing.

Book excerpt of Plas Abermad design review by author



7.0 APPENDICES



7.0 APPENDICES

